

**CITY OF FRAMINGHAM
CAPITAL PROJECT/EQUIPMENT REQUEST - FY2025-2034 CIP**

DEPARTMENT:

DEPARTMENT PRIORITY:

(1) PROJECT NAME:
PROJECT STATUS:

<p>(2) PROJECT DESCRIPTION AND JUSTIFICATION:</p> <div style="border: 1px solid black; padding: 5px;"> <p>This project would result in the development of a district energy loop supported by a ground-source geothermal heat exchanger to provide a low-carbon and efficient heating and cooling to the Memorial Building, Police Department Headquarters, and future regional dispatch facility at 188 Concord Street. When combined with other planned HVAC improvement capital projects identified in the CIP, the project would involve the transition of each connected facility to water-source heat pump technology, replacing outdated and aging equipment and further mitigating the use of fossil fuels in building operations.</p> <p>To maximize project feasibility and mitigate construction costs and siting challenges, the City seeks to design the district energy system in coordination with the development of the downtown parking garage. In this way, the proposed geothermal heat exchanger and connecting energy loop can be installed under the garage in alignment with the prospective excavation schedule and minimize potential impacts to this project.</p> </div> <p>PROJECT ADDITIONS/CHANGES JUSTIFICATION:</p> <input style="width:100%" type="text"/>	<p>(3) PURPOSE OF PROJECT:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td style="text-align: center;"><input checked="" type="checkbox"/></td><td>Replace existing infrastructure</td></tr> <tr><td style="text-align: center;"><input type="checkbox"/></td><td>Replace existing capital asset</td></tr> <tr><td style="text-align: center;"><input type="checkbox"/></td><td>Replace existing vehicle</td></tr> <tr><td style="text-align: center;"><input checked="" type="checkbox"/></td><td>Replace equipment</td></tr> <tr><td style="text-align: center;"><input checked="" type="checkbox"/></td><td>New infrastructure</td></tr> <tr><td style="text-align: center;"><input type="checkbox"/></td><td>New capital asset</td></tr> <tr><td style="text-align: center;"><input type="checkbox"/></td><td>New vehicle</td></tr> <tr><td style="text-align: center;"><input checked="" type="checkbox"/></td><td>New equipment</td></tr> <tr><td style="text-align: center;"><input type="checkbox"/></td><td>Strategic/Comprehensive/Master plan</td></tr> </table>	<input checked="" type="checkbox"/>	Replace existing infrastructure	<input type="checkbox"/>	Replace existing capital asset	<input type="checkbox"/>	Replace existing vehicle	<input checked="" type="checkbox"/>	Replace equipment	<input checked="" type="checkbox"/>	New infrastructure	<input type="checkbox"/>	New capital asset	<input type="checkbox"/>	New vehicle	<input checked="" type="checkbox"/>	New equipment	<input type="checkbox"/>	Strategic/Comprehensive/Master plan
<input checked="" type="checkbox"/>	Replace existing infrastructure																		
<input type="checkbox"/>	Replace existing capital asset																		
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<input checked="" type="checkbox"/>	New equipment																		
<input type="checkbox"/>	Strategic/Comprehensive/Master plan																		

(4) BUDGET REQUEST BY YEAR:

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition						
b. Planning / Feasibility						
c. Design	826,892					
d. Construction		1				
e. Equipment/Vehicles						
f. Contingency						
g. Other						
TOTAL	826,892	1	-	-	-	-

(5) PRIORITY:

a. <input checked="" type="checkbox"/> health and safety	safety concern, hazardous condition, agency compliance, non-functional, etc
b. <input checked="" type="checkbox"/> level service maintenance	maintains City desired level of service
c. <input type="checkbox"/> economic development	adds to the City's economic vibrancy
d. <input checked="" type="checkbox"/> service improvement	new or improved service to meet demand

(6) EFFECTS ON ANNUAL OPERATING BUDGET:

	FY 25	FY 26	FY 27	FY 28	FY 29	FY30	YEARS 30-34
Personnel							
Operating							

(7) PROPOSED FUNDING SOURCE(S):

- 1)
- 2)
- 3)

(10) PROJECT OR EQUIPMENT LOCATION:

(11) ASSET TYPE:

(7a) POTENTIAL GRANT FUNDING SOURCE IF APPLICABLE: (List source and matching requirements)

(8) PROJECT LEAD NAME & CONTACT INFO: (ADDITIONAL PROJECT INFO AS NEEDED)

(9) FINANCE DEPARTMENT NOTES:

**CITY OF FRAMINGHAM
CAPITAL PROJECT/EQUIPMENT REQUEST - FY2025-2034 CIP**

DEPARTMENT:

DEPARTMENT PRIORITY:

(1) **PROJECT NAME:**
PROJECT STATUS:

(2) **PROJECT DESCRIPTION AND JUSTIFICATION:**

PROJECT ADDITIONS/CHANGES JUSTIFICATION:

(3) **PURPOSE OF PROJECT:**

<input checked="" type="checkbox"/>	Replace existing infrastructure
<input checked="" type="checkbox"/>	Replace existing capital asset
<input type="checkbox"/>	Replace existing vehicle
<input type="checkbox"/>	Replace equipment
<input type="checkbox"/>	New infrastructure
<input type="checkbox"/>	New capital asset
<input type="checkbox"/>	New vehicle
<input type="checkbox"/>	New equipment
<input type="checkbox"/>	Strategic/Comprehensive/Master plan

(4) **BUDGET REQUEST BY YEAR:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition						
b. Planning / Feasibility						
c. Design						
d. Construction	2,922,720					
e. Equipment/Vehicles						
f. Contingency						
g. Other						
TOTAL	2,922,720	-	-	-	-	-

(5) **PRIORITY:**

a. <input type="checkbox"/>	health and safety	safety concern, hazardous condition, agency compliance, non-functional, etc
b. <input checked="" type="checkbox"/>	level service maintenance	maintains City desired level of service
c. <input type="checkbox"/>	economic development	adds to the City's economic vibrancy
d. <input type="checkbox"/>	service improvement	new or improved service to meet demand

(6) **EFFECTS ON ANNUAL OPERATING BUDGET:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY30	YEARS 30-34
Personnel							
Operating							

(7) **PROPOSED FUNDING SOURCE(S):**

-
-
-

(10) **PROJECT OR EQUIPMENT LOCATION:**

(11) **ASSET TYPE:**

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(8) **PROJECT LEAD NAME & CONTACT INFO: (ADDITIONAL PROJECT INFO AS NEEDED)**

(9) **FINANCE DEPARTMENT NOTES:**

**CITY OF FRAMINGHAM
CAPITAL PROJECT/EQUIPMENT REQUEST - FY2025-2034 CIP**

DEPARTMENT:

DEPARTMENT PRIORITY:

(1) **PROJECT NAME:**
PROJECT STATUS:

<p>(2) PROJECT DESCRIPTION AND JUSTIFICATION:</p> <p>This project will result in the adoption of electric vehicles (EVs) within the municipal fleet to replace inefficient internal combustion engine vehicles as well as the deployment of associated electric vehicle charging infrastructure to facilitate fleet and public EV charging. Building upon the City's implementation of the Municipal Fleet Efficiency Policy which prioritizes the adoption of electric and alternative fuel vehicles, this initial phase of fleet electrification will directly contribute to reductions in municipal energy consumption, greenhouse gas emissions, and maintenance costs. The City will pursue grant funding and incentive programs to support the project, such as through the prospective second round of the Eversource EV Make Ready Program as well as MassEVIP incentive programs.</p> <p>In FY25, the City plans to replace 2 vehicles in Inspectional Services, 1 vehicle in Assessors, 1 vehicle in Fire, and 2 vehicles in the Department of Public Works, as well as acquire infrastructure necessary to operate the electric vehicles.</p> <p>PROJECT ADDITIONS/CHANGES JUSTIFICATION:</p> <p>This project has been restructured and encompasses new EV charging station locations and proposed vehicles.</p>	<p>(3) PURPOSE OF PROJECT:</p> <table border="0" style="width: 100%;"> <tr><td><input type="checkbox"/></td><td>Replace existing infrastructure</td></tr> <tr><td><input type="checkbox"/></td><td>Replace existing capital asset</td></tr> <tr><td><input checked="" type="checkbox"/></td><td>Replace existing vehicle</td></tr> <tr><td><input type="checkbox"/></td><td>Replace equipment</td></tr> <tr><td><input checked="" type="checkbox"/></td><td>New infrastructure</td></tr> <tr><td><input type="checkbox"/></td><td>New capital asset</td></tr> <tr><td><input type="checkbox"/></td><td>New vehicle</td></tr> <tr><td><input type="checkbox"/></td><td>New equipment</td></tr> <tr><td><input type="checkbox"/></td><td>Strategic/Comprehensive/Master plan</td></tr> </table>	<input type="checkbox"/>	Replace existing infrastructure	<input type="checkbox"/>	Replace existing capital asset	<input checked="" type="checkbox"/>	Replace existing vehicle	<input type="checkbox"/>	Replace equipment	<input checked="" type="checkbox"/>	New infrastructure	<input type="checkbox"/>	New capital asset	<input type="checkbox"/>	New vehicle	<input type="checkbox"/>	New equipment	<input type="checkbox"/>	Strategic/Comprehensive/Master plan
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(4) **BUDGET REQUEST BY YEAR:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition						
b. Planning / Feasibility						
c. Design						
d. Construction	185,000	260,000				
e. Equipment/Vehicles	215,000	171,000				
f. Contingency						
g. Other						
TOTAL	400,000	431,000	-	-	-	-

(5) **PRIORITY:**

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b.	<input type="checkbox"/> level service maintenance	maintains City desired level of service
c.	<input checked="" type="checkbox"/> economic development	adds to the City's economic vibrancy
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(6) **EFFECTS ON ANNUAL OPERATING BUDGET:**

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Personnel							
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(11) **ASSET TYPE:**

(7a) POTENTIAL GRANT FUNDING SOURCE IF APPLICABLE: (List source and matching requirements)
Eversource EV Make Ready Program (Round 2), MassEVIP Program
(8) PROJECT LEAD NAME & CONTACT INFO: (ADDITIONAL PROJECT INFO AS NEEDED)
Shawn Luz, sluz@framinghamma.gov, x4652
(9) FINANCE DEPARTMENT NOTES:

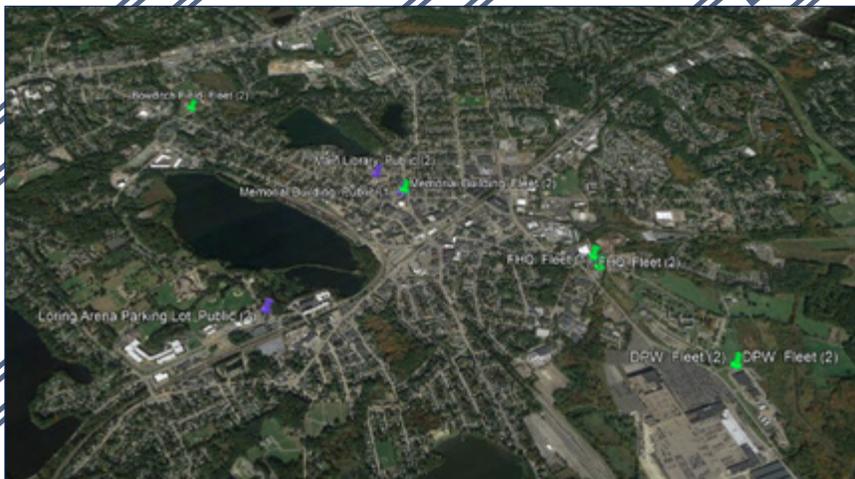
Fleet Electrification Initiative

Project Budget

EV Charging Stations & Infrastructure				Vehicles					Anticipated Grant Funding	Total	Net Cost
Location	Proposed Solution	Purpose	Total Budget	Budgeted Model	Count	Purpose	Total Vehicle Cost				
Memorial Building	1 Dual	Fleet / Public	\$20,745	Chevy Bolt EUV	2	Inspectional Services	\$68,390	\$21,662			
	1 Single										
Fire Station #3	1 Dual 1 Single	Fleet	\$22,465	Chevy Bolt EUV	1	Fire Department	\$34,195	\$16,108			
DPW	2 Dual Port	Fleet	\$25,814	Chevy Bolt EUV	1	DPW	\$34,195	\$12,513			
Loring Arena Parking Lot	1 Dual Port	Fleet	\$57,500	N/A	0	N/A	\$0	\$28,750			
Main Library	1 Dual Port	Public	\$57,500	N/A	0	N/A	\$0	\$57,500			
Bowditch Field	1 Dual Port	Fleet / Public	\$75,000	Chevy Bolt EUV	1	Parks	\$34,195	\$45,000			
Total	16 Ports		\$259,024		5		\$170,975	\$181,533	\$429,999	\$248,466	

Fleet Electrification Initiative

EV Infrastructure Locations



Primary Station Use

- Fleet
- Public

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PROJECT ADDITIONS/CHANGES JUSTIFICATION:

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<input type="checkbox"/>	Replace existing infrastructure
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<input type="checkbox"/>	New infrastructure
<input type="checkbox"/>	New capital asset
<input type="checkbox"/>	New vehicle
<input type="checkbox"/>	New equipment
<input type="checkbox"/>	Strategic/Comprehensive/Master plan

(4) **BUDGET REQUEST BY YEAR:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition						
b. Planning / Feasibility						
c. Design						
d. Construction	1,335,000					
e. Equipment/Vehicles						
f. Contingency						
g. Other						
TOTAL	1,335,000	-	-	-	-	-

(5) **PRIORITY:**

a. <input checked="" type="checkbox"/> health and safety	safety concern, hazardous condition, agency compliance, non-functional, etc
b. <input checked="" type="checkbox"/> level service maintenance	maintains City desired level of service
c. <input type="checkbox"/> economic development	adds to the City's economic vibrancy
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(6) **EFFECTS ON ANNUAL OPERATING BUDGET:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY30	YEARS 30-34
Personnel							
Operating							

(7) **PROPOSED FUNDING SOURCE(S):**

-
-
-

(10) **PROJECT OR EQUIPMENT LOCATION:**

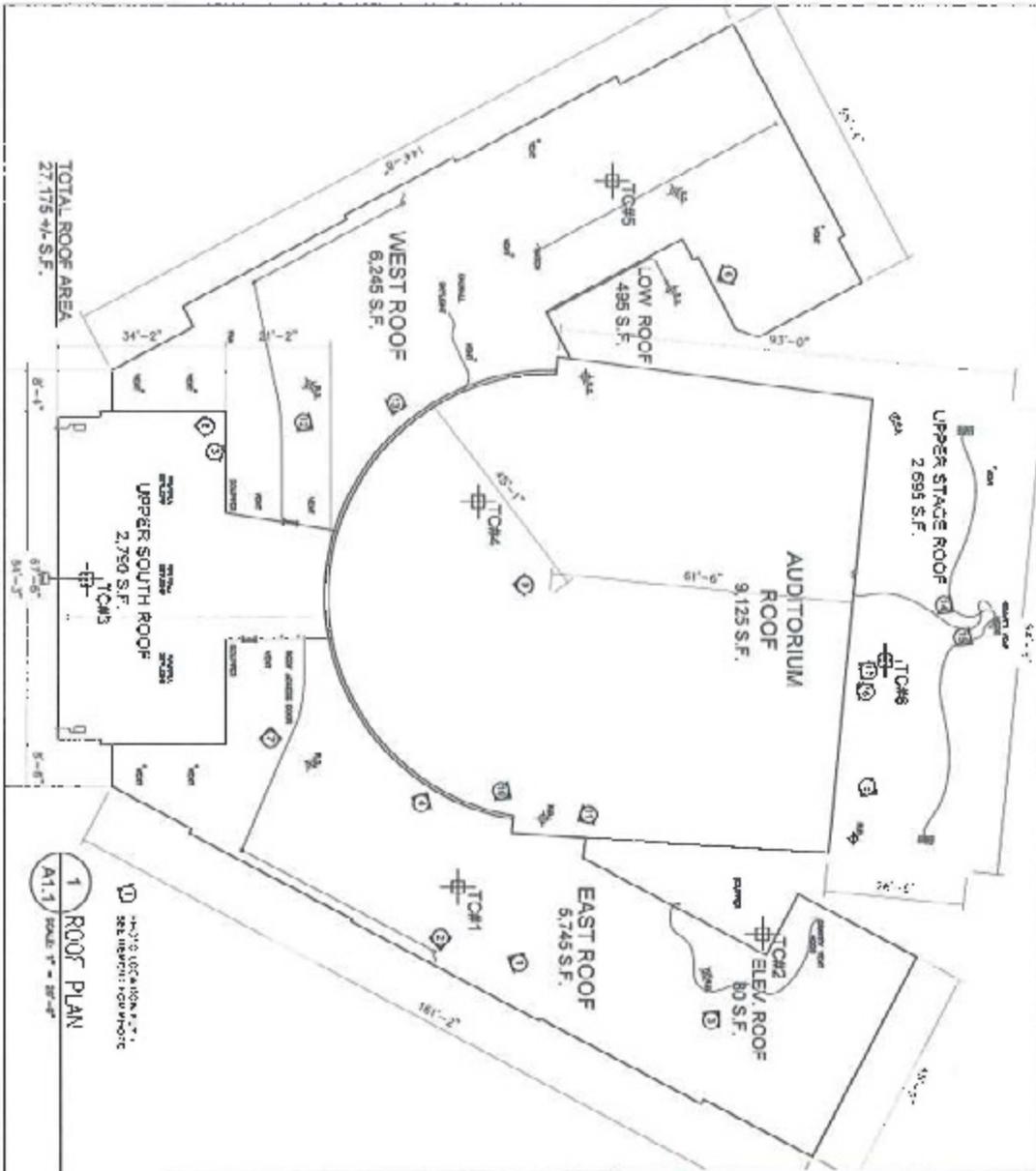
(11) **ASSET TYPE:**

(7a) **POTENTIAL GRANT FUNDING SOURCE IF APPLICABLE: (List source and matching requirements)**

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(9) **FINANCE DEPARTMENT NOTES:**

TOWN OF FRAMINGHAM	1226	Total Roof Square Footage	27,175	Roof Levels/Stories	7	Most Recent Roof Replacement	1995	Current Roof Age	18	CONDITION NARRATIVE	Roofing Warranty Expiration Date	Resigner of Record (Roofing Project)	Roof Replacement (Target Year)	Approximate Construction Estimate	Engineering Fee Estimate (7.5%)	Combined Estimate
Memorial Building Town Hall 150 Concord Street	1226		27,175		7		1995	18		Roof systems at this site were replaced in 1995, in a combined/single project. No active leakage issues are reported at this site, to our knowledge. All roof areas are suffering from a lack-of-maintenance and improperly-installed roof/conduit penetrations. The protective coating on sloped roof over the auditorium is badly in need of restorative coating & general maintenance. Masonry walls rising above the roof surfaces are in very poor condition and pose a risk of leakage and roof system damage.	2010	Whitman & Howard	2020	\$1,049,575	\$81,858	\$1,131,434



TOTAL ROOF AREA
27,175 sq. S.F.

1 ROOF PLAN
A1.1 SCALE: 1" = 32'-0"

1.1.1 SEE EXISTING ROOF REPORT

- EXISTING ROOF CONSTRUCTION**
- **EXISTING ROOF:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **NEW ROOF:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF TRUSSES:**
 - TOM1, TOM2, TOM3, TOM4, TOM5, TOM6
 - **ROOF STRUCTURE:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF FINISHES:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF DRAINAGE:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF VENTILATION:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF ACCESS:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF ELEVATIONS:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF PERIMETER:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF INTERIORS:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF EXTERIORS:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
 - **ROOF DETAILS:**
 - WEST ROOF: 6,245 S.F.
 - LOW ROOF: 495 S.F.
 - UPPER STAGE ROOF: 2,695 S.F.
 - AUDITORIUM ROOF: 9,125 S.F.
 - EAST ROOF: 5,745 S.F.
 - UPPER SOUTH ROOF: 2,750 S.F.
 - ELEV. ROOF: 80 S.F.
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 <p>AFLUO Company</p>	<p>PROJECT</p> <p>Town of Framingham Roof Survey</p> <p>Memorial Building</p> <p>150 Concord Street, Framingham, MA</p>	<p>SCALE:</p> <p>AS NOTED</p>
		<p>DATE:</p> <p>21 JUNE 2013</p>

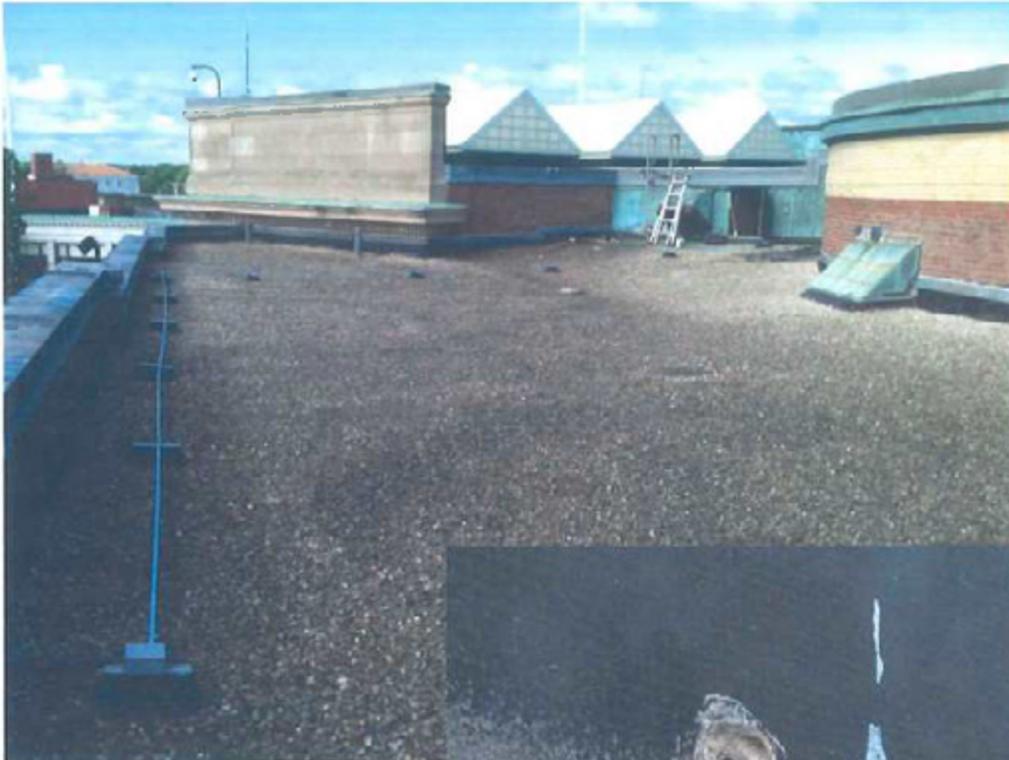
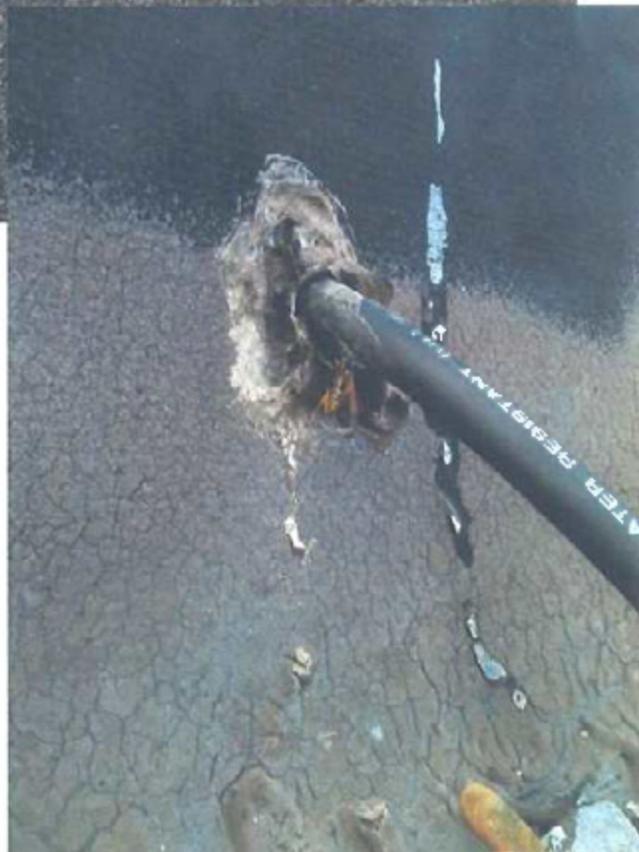


PHOTO #1 - View of Main East Roof looking towards Upper South Roof. Note electrical conduit run over roof surface (Above).

PHOTO #2 - Electrical has been fed in through flashing causing openings in roof flashing as indicated by bee entering wall flashing (Right).



Town of Framingham Roof Survey
Memorial Building - 150 Concord Street



PHOTO #3 - View of Upper Stage and Auditorium Roof looking north at Elevator Roof and rusted gravity vent (Above).

PHOTO #4 - Note open masonry joints prevalent in stage masonry wall (Above) and at masonry wall of Auditorium (Right)



Town of Framingham Roof Survey
Memorial Building – 150 Concord Street



PHOTO #5 - Overview of Main West Roof showing skylight and rising Auditorium curved masonry wall (Above).

PHOTO #6 - Overview of lower roof. Note recently repaired roof drain (Right).



Town of Framingham Roof Survey
Memorial Building – 150 Concord Street



PHOTO #7 - Copper cladding and roof access door in sidewall of Upper South Roof (Above). Note accumulation of debris on roof surface and on Upper South Roof (Below) **PHOTO #8**.



Town of Framingham Roof Survey
Memorial Building – 150 Concord Street



PHOTO #9 - Overview of Upper South Roof and skylights as seen from Auditorium Roof (Above). Note that Auditorium Roof coating has weathered and is in need of re-coating.

Photo #10 - The perimeter "gutter" has areas where drainage is blocked and is causing vegetation to grow in areas of standing water (Right). Membrane has deteriorated in these spots as indicated below (**Photo #11**)



Town of Framingham Roof Survey
Memorial Building – 150 Concord Street



PHOTO #12 - Curved Auditorium Roof and rising curved masonry walls. Upper Stage Roof and rising stage wall seen in background (Above).

PHOTO #13 – Close-up of open masonry joints in rising Auditorium Walls (Right). Note that red brick mortar appears in much worse shape than yellow brick mortar.



Town of Framingham Roof Survey
Memorial Building – 150 Concord Street



PHOTO #14 - Rusted gravity vent and masonry chimney construction on Upper Stage Roof. Note cable runs over roof surface and into gravity vent (Above).

PHOTO #15 - Masonry Chimney is missing flashing at gravity vent (both sides) and is in need of re-pointing of mortar joints (Right).



Town of Framingham Roof Survey
Memorial Building – 150 Concord Street



PHOTO #16 – Upper Stage Roof small parapet has opening in corner of base flashing which should be repaired (Above). **PHOTO #17** - Reinforcing is also visible at corners, which should be re-coated with mastic (Right). This condition is typical of all corner flashing and any flashing joints at all roof levels. **PHOTO #18** - Field of Upper Stage Roof has a blister which should be cut out and new plies stripped in (Below).



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PROJECT ADDITIONS/CHANGES JUSTIFICATION:

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<input type="checkbox"/>	New vehicle
<input type="checkbox"/>	New equipment
<input type="checkbox"/>	Strategic/Comprehensive/Master plan

(4) **BUDGET REQUEST BY YEAR:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition						
b. Planning / Feasibility						
c. Design						
d. Construction	245,000					
e. Equipment/Vehicles						
f. Contingency						
g. Other						
TOTAL	245,000	-	-	-	-	-

(5) **PRIORITY:**

a. <input checked="" type="checkbox"/> health and safety	safety concern, hazardous condition, agency compliance, non-functional, etc
b. <input checked="" type="checkbox"/> level service maintenance	maintains City desired level of service
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	FY 25	FY 26	FY 27	FY 28	FY 29	FY30	YEARS 30-34
Personnel							
Operating							

(7) **PROPOSED FUNDING SOURCE(S):**

- Bond**
-
-

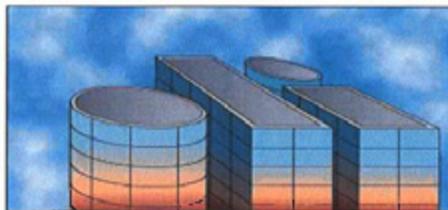
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(9) **FINANCE DEPARTMENT NOTES:**



ONLINE INFORMATION

Town of Framingham

150 Concord Street
Room 133
FRAMINGHAM, MA 01702

Tremco Incorporated

15 November 2014

TABLE OF CONTENTS

1. Introduction

Explanation of report objectives, methods of data collection and explanation of the seven categories of maintenance recommendations

2. Executive Summary

Summarized information, presented in numeric and graphical formats, to provide an overview of your roofing inventory: number of roofs, square footage, age and condition by facility.

3. Budget Summary

Summarized budget information in graphical format for each facility.

4. Roof Details - Town of Framingham

Full details of the roof data collected for Town of Framingham

SECTION 1.
INTRODUCTION

REPORT CONTENT

Your report provides information essential to the analysis of your roofing investment and development of action plans. It will assist you to effectively and efficiently manage your roofing expenditures. The data you need in order to maintain your roofs in the optimum condition and preserve your substantial investment is provided.

Information is organized into the Executive Summary section followed by details for each roof. The Executive Summary provides overall information on your roofing inventory, asset value, the condition of roofs and budget amounts for maintenance, replacement and restoration work. Information is presented in numerical and graphical formats and is supported by data and recommendations for each individual roof area.

A roof area is defined by the following feature(s). An elevation change separation by walls, fire walls, expansion, control joints or a change of construction.

INFORMATION COLLECTION

Information collected includes historical data, construction and condition information. The information is collected by well trained, experienced roof inspectors. The inspection consists of on-site interviews whenever possible, a visual examination of the roof and extractions of roof samples for analysis. All accessible roof projections and equipment are inspected.

Information about the roof insulation and deck are based on what the inspector is able to determine by field examination of a core where possible and a visual examination of the underside of the deck if accessible.

This report and associated recommendations are based on the conditions at the time of the inspection. Both conditions and recommendations will change with time, weather and normal wear and tear associated with roofs.

CONDITION CATEGORIES

Your inspected roofing inventory has been classified into condition categories. Based on this analysis of certain key characteristics and noted conditions on each roof. Some conditions are clear indicators of future problems. Prompt attention to certain issues now may avoid or forestall a major expenditure later.

The condition categories are as follows:

1. Replace Immediately
2. Replace Eventually
3. Restore Immediately
4. Restore Eventually
5. Repairs Required, Major
6. Repairs Required, Minor
7. Good Condition
8. Fair Condition
9. Other
10. No Condition Recorded

The assignment of a roof to one of these categories is based on data collected. It does not take into account owner preferences or knowledge of a building or its anticipated future. These factors must be the subject of discussion using the inspection data as a base. This step may well result in a re-organization priority assessment.

FOLLOW-UP WORK

Expanded recommendations, comprehensive specifications and pertinent cost estimates will be provided to you upon request, based on a more exhaustive on-site examination of the roof areas identified as priorities.

Use the services of Tremco Incorporated Account Executive to supplement the information in this report to help in establishing priorities and in the management of your roofing investment.

Section 2.

Executive Summary

- 2.1 Overview
- 2.2 Roofing Inventory Examined
- 2.3 Roof Inventory Distribution
- 2.4 Square Footage Distribution
- 2.5 Age Analysis by Square Feet
- 2.6 Condition Category by Square Feet
- 2.7 Roof Membrane Type by Square Feet
- 2.8 Age Analysis by Membrane Type
- 2.9 Condition by Membrane Type

2. Executive Summary

2.1 Overview

This section provides information in numeric and graphical formats to summarize the detailed data in the body of this report.

This section essentially answers four questions:

1. "What roofing inventory do we have?"
2. "What condition is it in?"
3. "What will it cost to undertake the necessary work?"
4. "Where can I save through maintenance and/or restoration?"

The contents of this section are as follows:

1. Summary of the roofing inventory examined with total number of buildings and square footage.
2. Analysis based on number of roofs.
3. Analysis based on square footage.
4. Analysis based on condition categories.
5. Analysis based on roof type.

2.2 Roofing Inventory Examined

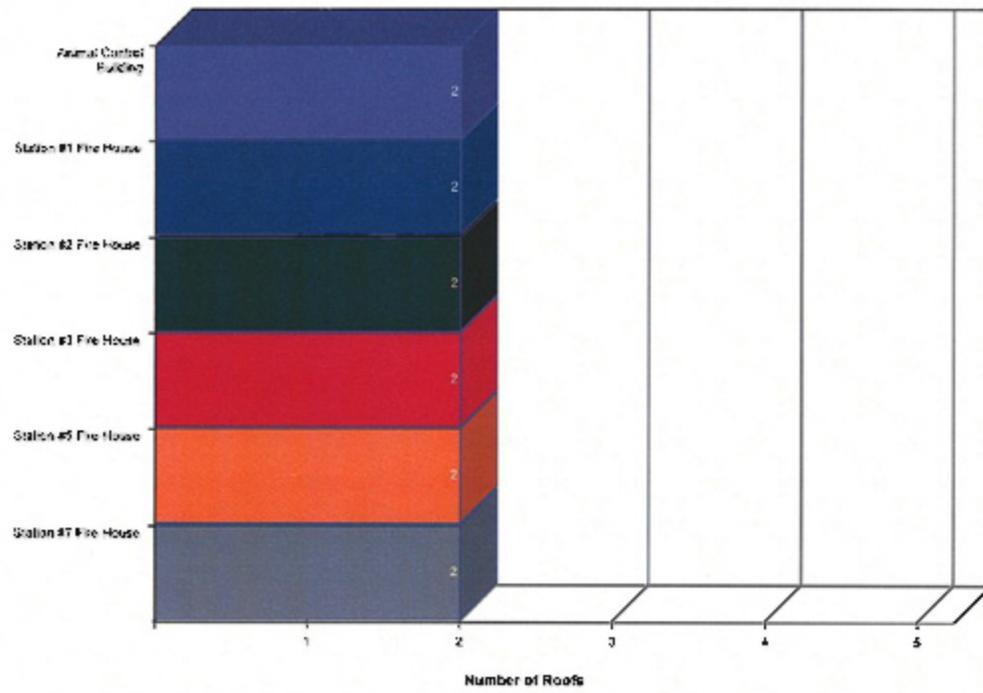
Number of Buildings	6
Number of Individual Roof Areas	12
Total Square Footage	31,929

* Please be aware that there are roofs without an asset value

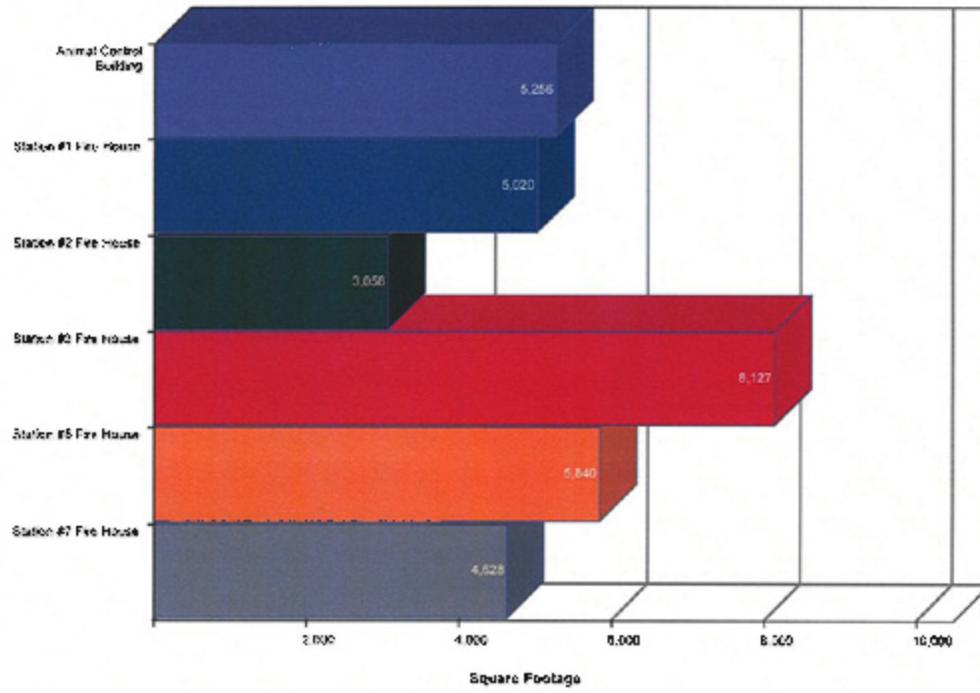
Town of Framingham

Town of Framingham	Asset Value	Sq. Ft.
<i>Animal Control Building</i>		
Roof 01		2,592
Roof 02		2,664
<i>Building Total: 2 roof area(s)</i>	<i>\$0.00</i>	<i>5,256</i>
<i>Station #1 Fire House</i>		
Roof 01		4,900
Roof 02		120
<i>Building Total: 2 roof area(s)</i>	<i>\$0.00</i>	<i>5,020</i>
<i>Station #2 Fire House</i>		
Roof 01		2,835
Roof 02		223
<i>Building Total: 2 roof area(s)</i>	<i>\$0.00</i>	<i>3,058</i>
<i>Station #3 Fire House</i>		
Roof 01		6,114
Roof 02		2,013
<i>Building Total: 2 roof area(s)</i>	<i>\$0.00</i>	<i>8,127</i>
<i>Station #5 Fire House</i>		
Roof 01		4,000
Roof 02		1,840
<i>Building Total: 2 roof area(s)</i>	<i>\$0.00</i>	<i>5,840</i>
<i>Station #7 Fire House</i>		
Roof 01		2,828
Roof 02		1,800
<i>Building Total: 2 roof area(s)</i>	<i>\$0.00</i>	<i>4,628</i>

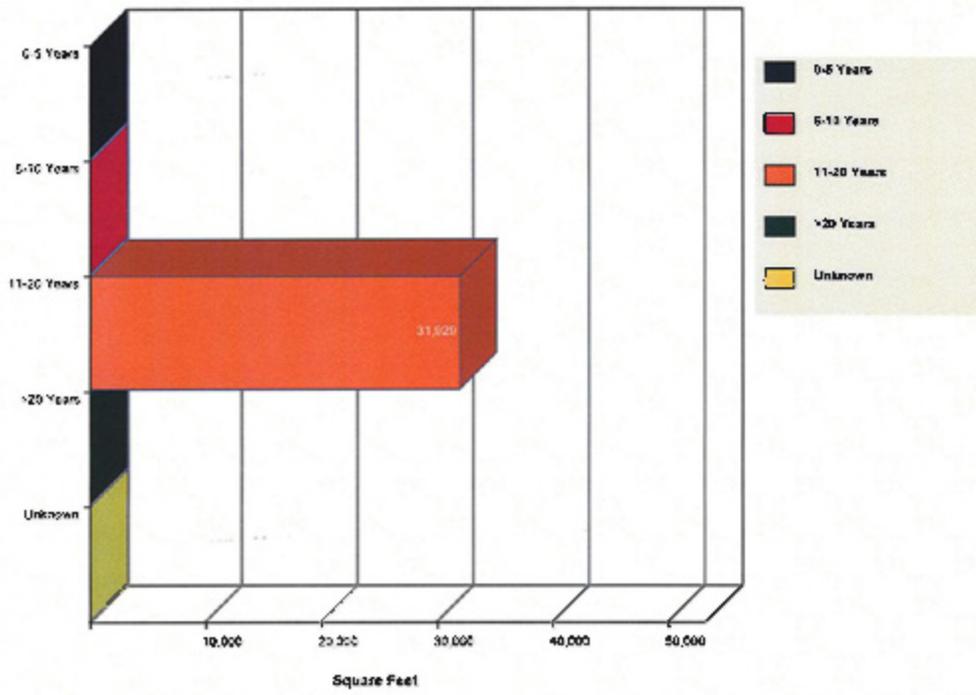
2.3 Roof Inventory Distribution



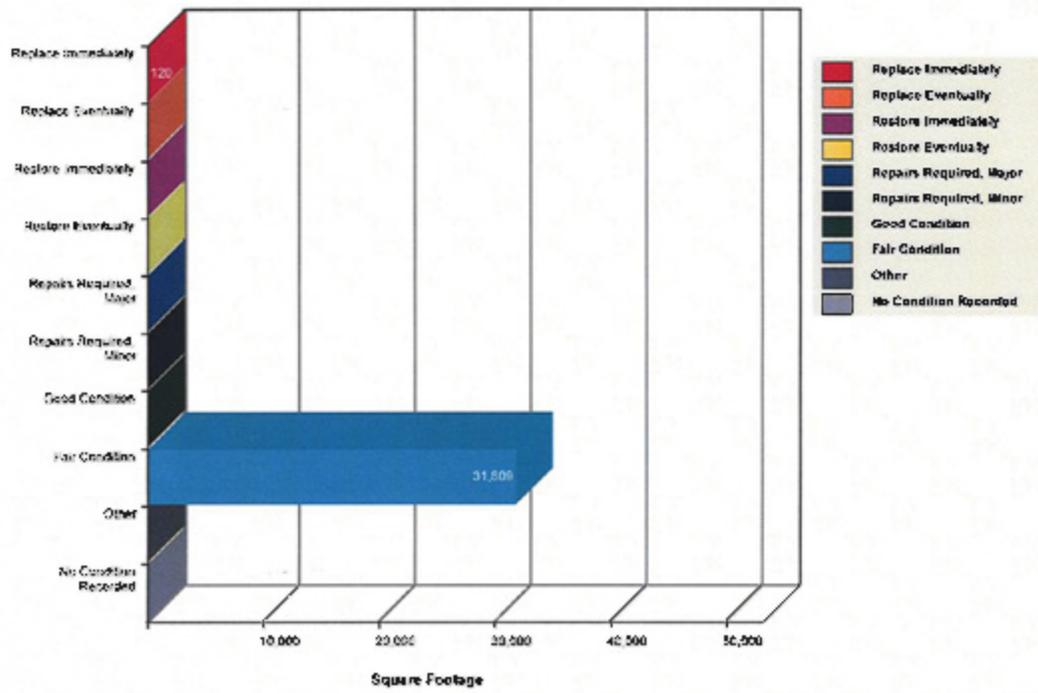
2.4 Square Footage Distribution



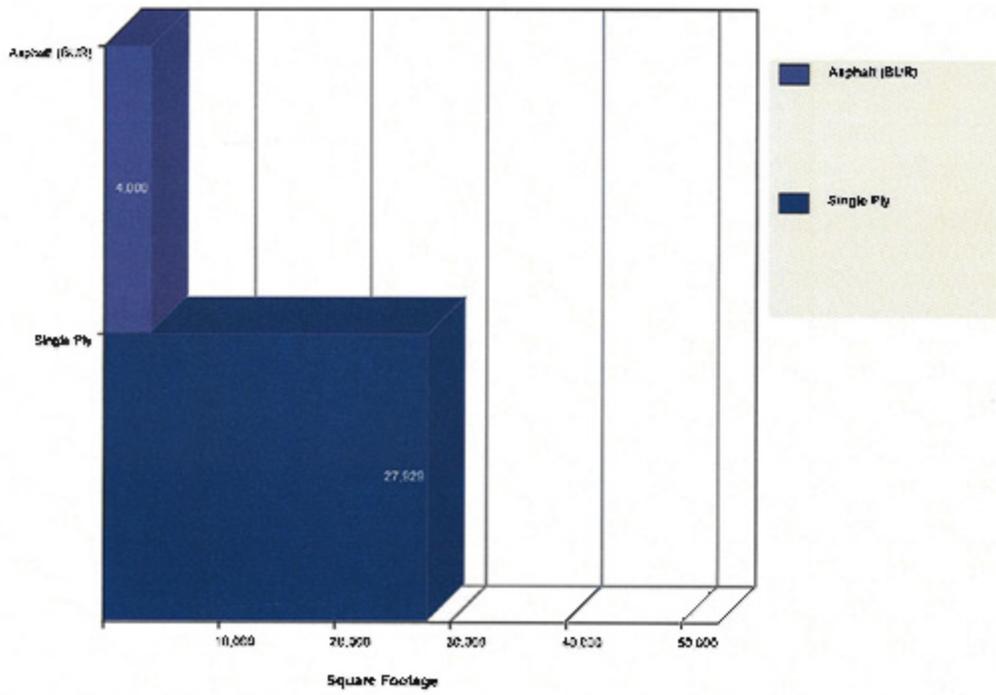
2.5 Age Analysis by Square Feet



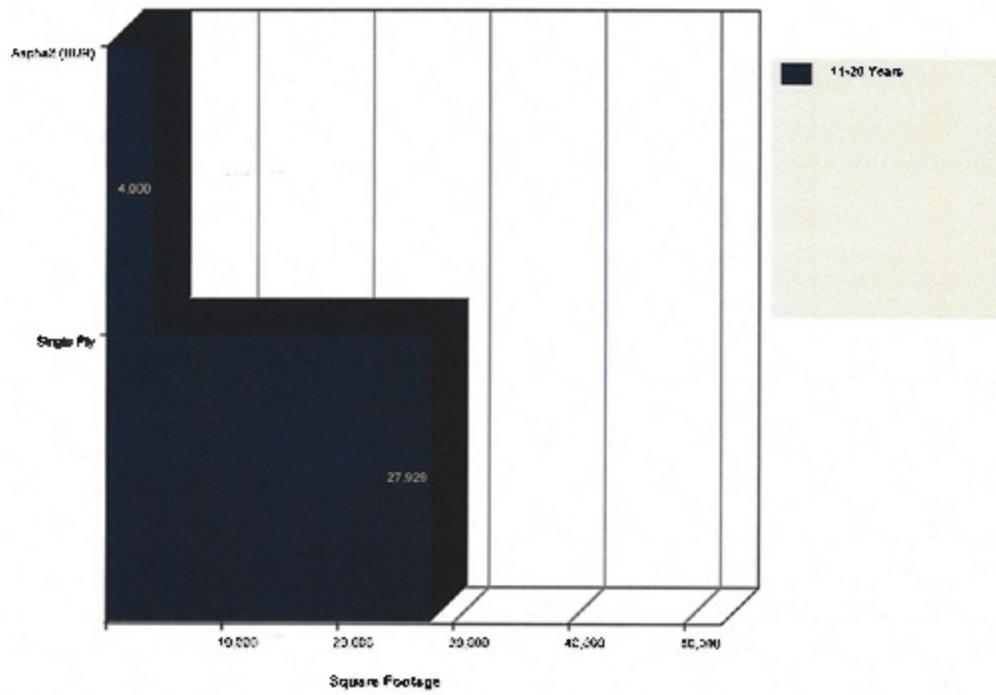
2.6 Condition Category by Square Feet



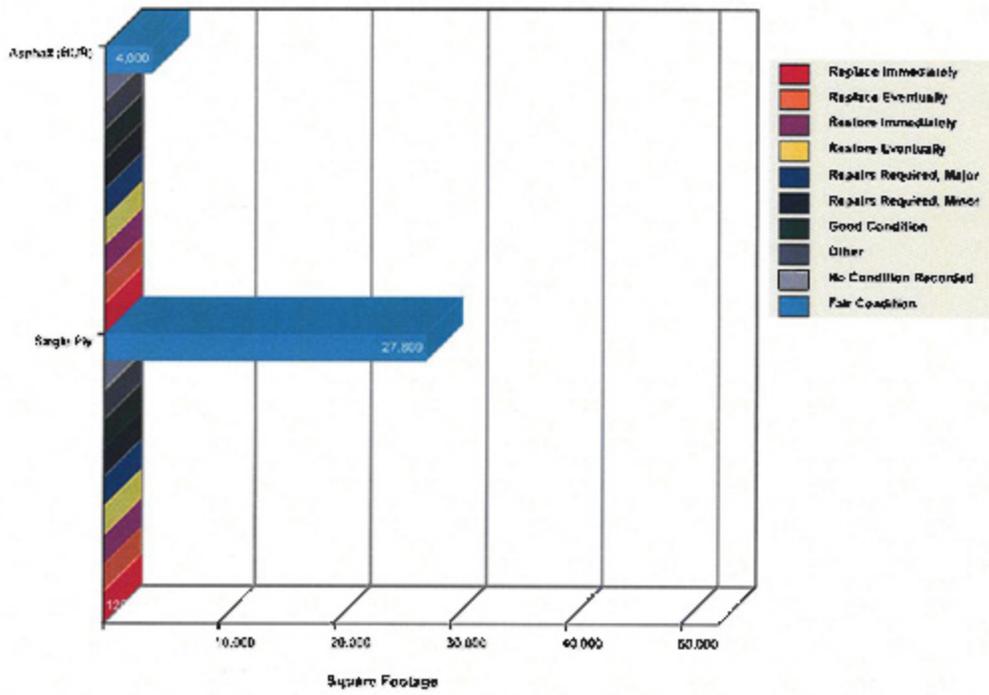
2.7 Roof Membrane Type by Square Feet



2.8 Age Analysis by Membrane Type



2.9 Condition by Membrane Type



3.1 Recommended Budget Summary by Roof

Town of Framingham

Building name	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Subtotal										
Annual Total										

3.2 Recommended Budget Summary by Task

Town of Framingham

Building name	Task	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
Subtotal											
Annual Total											

Trenco Incorporated

Maintenance Summary - Work Performed

Town of Framingham

Town of Framingham	Type	Description	Completed
<i>Animal Control Building</i>			
Roof 01	TremCare	Performed core sample.	January 17, 2014
Roof 02	TremCare	Performed core sample.	January 20, 2014
<i>Station #7 Fire House</i>			
Roof 01	TremCare	Performed core sample.	January 17, 2014

Maintenance Summary - Customer's Responsibility

Town of Framingham

Town of Framingham	Type	Description	Recommended
<i>Station #1 Fire House</i> Roof 02	Replace Immediately	Recommend replacing the roof	2014

Overall Roof Condition

Number of Buildings	6
Number of Individual Roof Areas	12
Total Square Footage	31,929

Town of Framingham

◆ Replace Immediately

Region/Facility	Building	Roof	Sq. Ft.	Inspection Comments
Town of Framingham	Station #1 Fire House	Roof 02	120	
	◆ Subtotal	1 Roof(s)	120 Sq. Ft.	

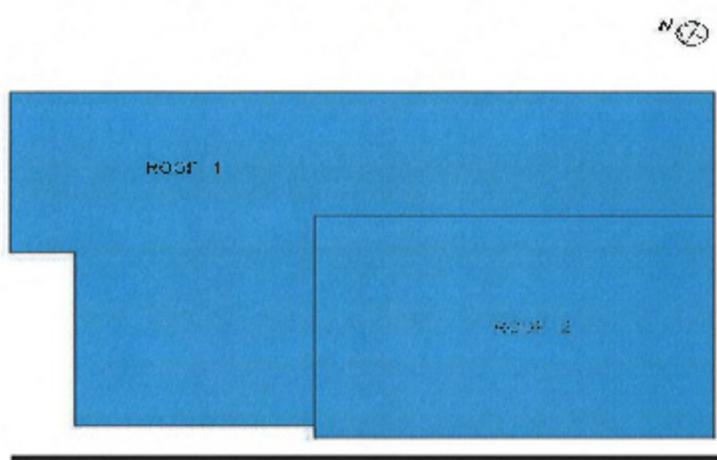
◆ Fair Condition

Region/Facility	Building	Roof	Sq. Ft.	Inspection Comments
Town of Framingham	Animal Control Building	Roof 01	2,592	The roof appears to be in fair condition at this time.
		Roof 02	2,664	
	Station #1 Fire House	Roof 01	4,900	
	Station #2 Fire House	Roof 01	2,835	There are two (2) chimneys that are falling apart and should be replaced.
		Roof 02	223	The roof appears to be in fair condition at this time.
	Station #3 Fire House	Roof 01	6,114	The roof appears to be in fair condition at this time.
		Roof 02	2,013	The roof appears to be in fair condition at this time.
	Station #5 Fire House	Roof 01	4,000	The roof appears to be in fair condition at this time.
		Roof 02	1,840	The roof appears to be in fair condition at this time.
	Station #7 Fire House	Roof 01	2,828	The roof appears to be in fair condition at this time.
		Roof 02	1,800	The roof appears to be in fair condition at this time.
	◆ Subtotal	11 Roof(s)	31,809 Sq. Ft.	
	Grand Total	12 Roof(s)	31,929 Sq. Ft.	

Town of Framingham

Station #7 Fire House

789 Water Street
Framingham, MA 01701

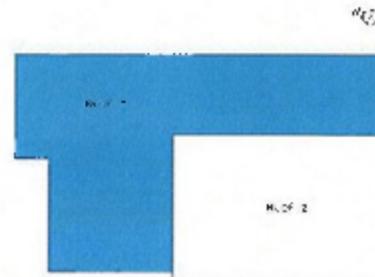


Red	Replace Immediately
Orange	Replace Eventually
Purple	Restore Immediately
Yellow	Restore Eventually
Dark Blue	Repairs Required, Major
Medium Blue	Repairs Required, Minor
Green	Good Condition
Light Blue	Fair Condition
Grey	Other
White	No Condition Reported

Tremco Incorporated

GENERAL INFORMATION

Roof Name Roof 01
Notes A 32' ladder is required to access roof
Service Activity Type OLI
Service Activity Date Jan 17 2014
Job Number 151759
Information Source Core
Year of Installation 1998 (Estimate)
Roof Leaks No
Leak Sensitivity High
Roof Size 2,828 sq. ft.
Is Ladder Required? No
Overall Roof Condition Fair Condition
Inspection Comments The roof appears to be in fair condition at this time.
Technician Chris Costa

**ROOF CONSTRUCTION**

Surfacing Smooth Black
Membrane Single Ply
Ply Info 1 ply EPDM, Fully Adhered
Insulation 3" Polyisocyanurate, Mechanically Attached
Deck Type Gypsum

DRAINAGE AND SLOPE

Drainage Internal Drains
Slope 1/8 inch(es) per foot

PERIMETER, WALL AND COPING

	Type	Condition(s)	Magnitude	Severity
Perimeter Type	Gravel Stop	Fair Condition		
	Non-Parapet Wall	Fair Condition		
Wall Type	Brick Wall	Fair Condition		
Perimeter Wall and Flashing Type	EPDM Single Ply	Fair Condition		
Counterflashing Type	Through Wal.	Weathered	Moderate	Moderate
Counterflashing Material Type	Copper	Weathered	Moderate	Moderate
Projection Flashings Type	EPDM Single Ply	Fair Condition		
	Neoprene	Good Condition		

PROJECTION AND EQUIPMENT

Type	Total	Require Attention
Antenna Base(s)	1	0
Drain(s)	2	0
Electrical Pipe(s)	1	0
Soil Slack(s)	4	0
Ventilator(s) (Curb)	2	0

ROOF CONDITIONS

Defect(s)	Magnitude	Severity
Blocked Drains	Extensive	Critical
Ponding	Moderate	Moderate

MAINTENANCE SUMMARY

Work Performed	
TremCare	Performed core sample.



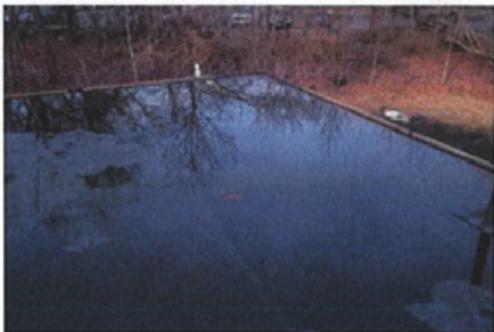
Overview.



Overview.



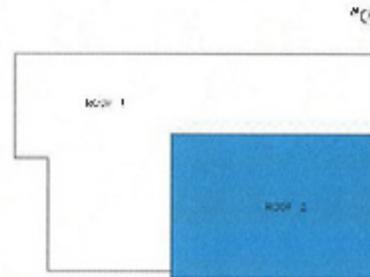
Overview.



Ponding water.

GENERAL INFORMATION

Roof Name Roof 02
Notes A 8' ladder is required to access roof.
Service Activity Type OLI
Service Activity Date Jan 20 2014
Job Number 151759
Information Source Core
Year of Installation 1998 (Estimate)
Roof Leaks No
Leak Sensitivity High
Roof Size 1,600 sq. ft.
Is Ladder Required? No
Overall Roof Condition Fair Condition
Inspection Comments The roof appears to be in fair condition at this time.
Technician Chris Costa

**ROOF CONSTRUCTION**

Surfacing Smooth Black
Membrane Single Ply
Ply Info 1 ply EPDM, Fully Adhered
Insulation 3" Polyisocyanurate, Mechanically Attached
Deck Type Gypsum

DRAINAGE AND SLOPE

Drainage Internal Drains
Slope 1/8 inch(es) per foot

PERIMETER, WALL AND COPING

	Type	Condition(s)	Magnitude	Severity
Perimeter Type	Gravel Stop	Fair Condition		
Counterflashing Type	Through Wall	Fair Condition		
Counterflashing Material Type	Copper	Fair Condition		
Projection Flashings Type	Neoprene	Fair Condition		

PROJECTION AND EQUIPMENT

Type	Total	Require Attention
Chimney(s)	1	0
Drain(s)	2	0
Soil Stack(s)	3	0

ROOF CONDITIONS

Defect(s)	Magnitude	Severity
Ponding	Moderate	Moderate



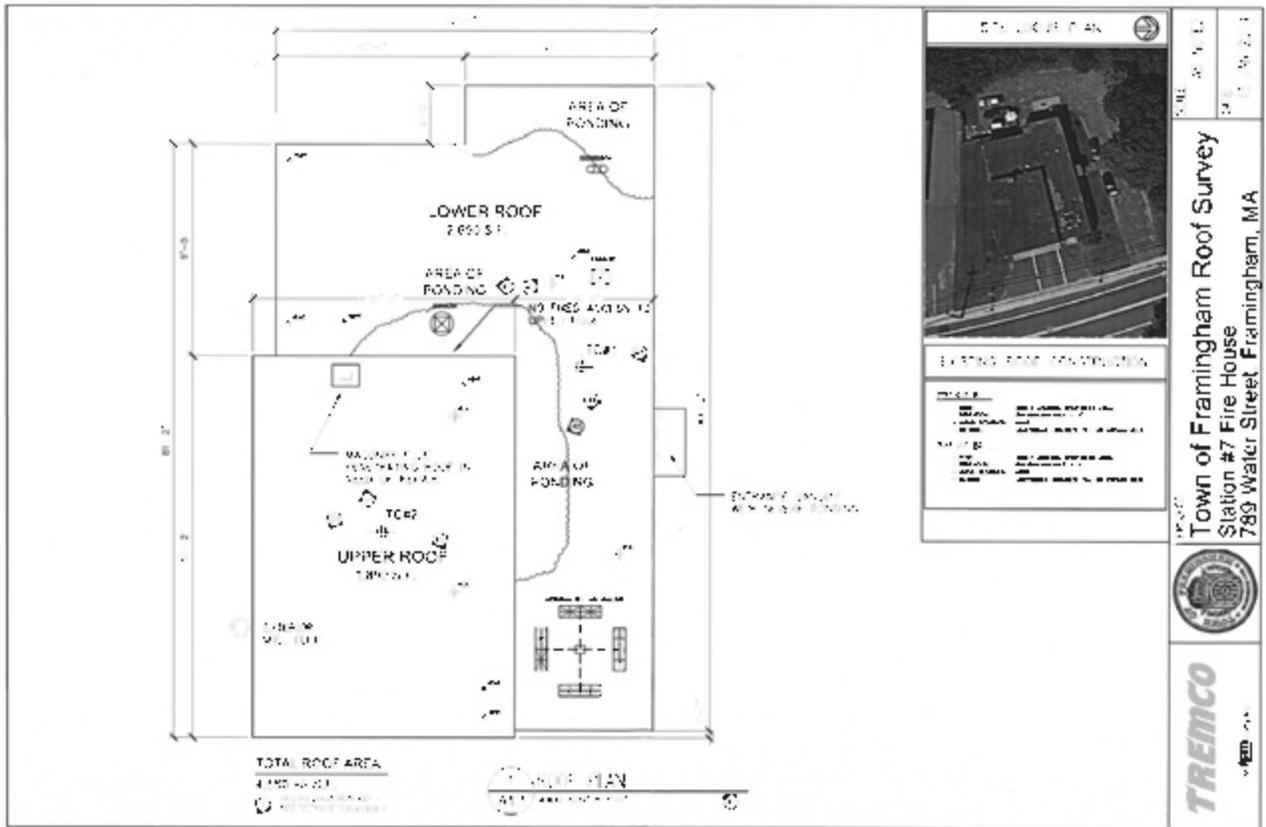
Overview.



Overview.

FIRE STATION #7
ROOF CONDITION
 UPDATED MARCH 2014
 SOURCE - TREYCO ROOFING

TOWN OF FRAMINGHAM	Original Construction Date	Total Roof Square Footage	Roof Levels/Sections	Most Recent Roof Replacement	Current Roof Age	CONDITION NARRATIVE	Roofing Warranty Expiration Date	Designer of Record (Roofing Project)	Roof Replacement (Target Year)	Approximate Construction Estimate	Engineering Fee Estimate (7.8%)	Combined Estimate
Fire Station #7 789 Water Street	1965 ±	4,580	3	1993 ±	21	Older vintage EPDM roofing systems are at the very end of their useful service life. Drainage/slope problems on these roof systems are accelerating the problems with these roof areas. Roof replacement (and drainage-improvements) should be considered a priority before larger scale structural problems develop in various areas.	(?)	(?)	2016	\$129,843	\$10,128	\$139,971



Framingham Fire Station #7
789 Water Street

FIRE STATION #7

{January 2014}

(ROOF INSPECTION DATA – INTERIM/PRELIMINARY REPORT)



PHOTO #43: Overview photo showing Fire Station #7, located at 789 Water Street

TREMCO

Framingham Fire Station #7
789 Water Street



PHOTO #44: Lower EPDM roof showing large area of poor drainage and ponding.



PHOTO #45: Photo showing water cascading over the masonry wall that separates the upper/lower roof levels. Masonry is becoming damaged, leading to larger-scale repairs.

TREMCO

Framingham Fire Station #7
789 Water Street



PHOTO #46: Lower EPDM roof showing large area of poor drainage and ponding at rear of roof.



PHOTO #47: Lower EPDM roof showing more evidence of poor drainage and standing water in many areas.

TREIMCO

Framingham Fire Station #7
789 Water Street



STANDING-WATER.

PHOTO #48: Virtually no form of drainage exists on the side canopy roof system. Water also collects along the edge of the main/upper roof area, leaving these areas vulnerable to leakage problems.



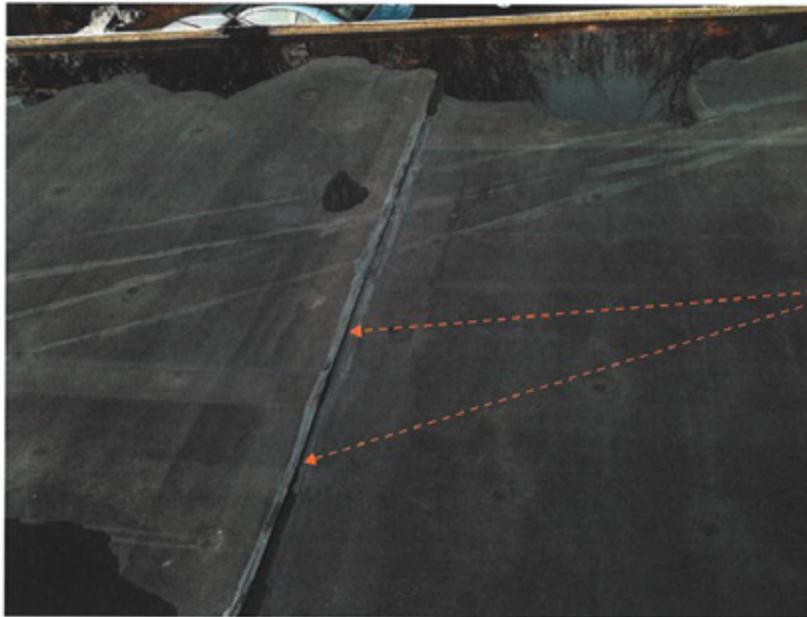
PHOTO #49: More evidence of poor-drainage - water cascades over the edge and down outside wall.

TREKCO

Framingham Fire Station #7
789 Water Street



PHOTO #50: - Upper EPDM roof showing large area of poor drainage and standing-water.



FAILING LAP/SEAM IN THE
EPDM ROOFING SYSTEM (TYP.
CONDITION).

PHOTO #51: Open/failing field-seam in the EPDM membrane roof system (typical condition throughout the roof system).

TREMCO

**CITY OF FRAMINGHAM
CAPITAL PROJECT/EQUIPMENT REQUEST - FY2025-2034 CIP**

DEPARTMENT:

DEPARTMENT PRIORITY:

(1) **PROJECT NAME:**
PROJECT STATUS:

(2) **PROJECT DESCRIPTION AND JUSTIFICATION:**

PROJECT ADDITIONS/CHANGES JUSTIFICATION:

(3) **PURPOSE OF PROJECT:**

<input type="checkbox"/>	Replace existing infrastructure
<input checked="" type="checkbox"/>	Replace existing capital asset
<input type="checkbox"/>	Replace existing vehicle
<input type="checkbox"/>	Replace equipment
<input type="checkbox"/>	New infrastructure
<input type="checkbox"/>	New capital asset
<input type="checkbox"/>	New vehicle
<input type="checkbox"/>	New equipment
<input type="checkbox"/>	Strategic/Comprehensive/Master plan

(4) **BUDGET REQUEST BY YEAR:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition						
b. Planning / Feasibility						
c. Design	120,000					
d. Construction		940,000				
e. Equipment/Vehicles						
f. Contingency						
g. Other						
TOTAL	120,000	940,000	-	-	-	-

(5) **PRIORITY:**

a. <input checked="" type="checkbox"/> health and safety	safety concern, hazardous condition, agency compliance, non-functional, etc
b. <input checked="" type="checkbox"/> level service maintenance	maintains City desired level of service
c. <input type="checkbox"/> economic development	adds to the City's economic vibrancy
d. <input type="checkbox"/> service improvement	new or improved service to meet demand

(6) **EFFECTS ON ANNUAL OPERATING BUDGET:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY30	YEARS 30-34
Personnel							
Operating							

(7) **PROPOSED FUNDING SOURCE(S):**
 1)
 2)
 3)

(10) **PROJECT OR EQUIPMENT LOCATION:**

 (11) **ASSET TYPE:**

(7a) **POTENTIAL GRANT FUNDING SOURCE IF APPLICABLE: (List source and matching requirements)**

(8) **PROJECT LEAD NAME & CONTACT INFO: (ADDITIONAL PROJECT INFO AS NEEDED)**

(9) **FINANCE DEPARTMENT NOTES:**

TOWNS OF FRAMINGHAM	Original Construction Year	Total Roof Square Footage	Roof Levels/Sections	Most Recent Roof Replacement	Current Roof Age	CONDITION NARRATIVE	Roofing Warranty Expiration Date	Designer of Record (Project Name)	Roof Replacement Target Year	2020 Inside Construction Estimate	Engineering Fee Estimate (2020)	Combined Estimate
Framingham Public Library 49 Lexington Street	1978	16,500	4	1996	17	Roofing system (multi level) was replaced in 1996 with a cold-process, multiple roofing system. Visually, the roofing system appears to be in good condition and we are unaware of any reported leakage inside the building. Similar to other buildings reviewed, the roof system does not appear to have received any meaningful preventive maintenance. Minor reinforcements are required at perimeter and penetration flashings. In most instances it is also recommended simply to catch/address any areas of moisture infiltration below the roofing membrane.	2013	184 Group Inc.	2021	\$666,640	\$51,218	\$717,858
TOTALS		67,624	23									



PHOTO #1 - Overview of Main Library roof looking south (Above). Note central wooden equipment screen designed to help conceal HVAC equipment.

PHOTO #2 - Detail of wooden equipment screen (Right). Note that while steel structure is in good condition the wooden screen and related fasteners has deteriorated.



Town of Framingham Roof Survey
Main Library – 49 Lexington Street

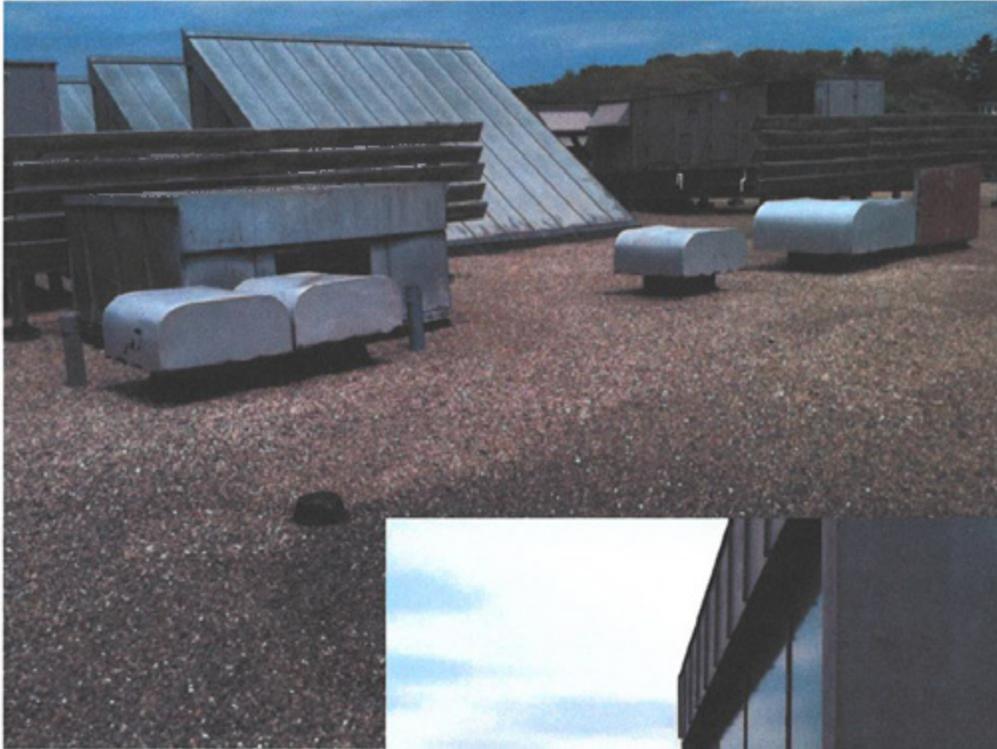
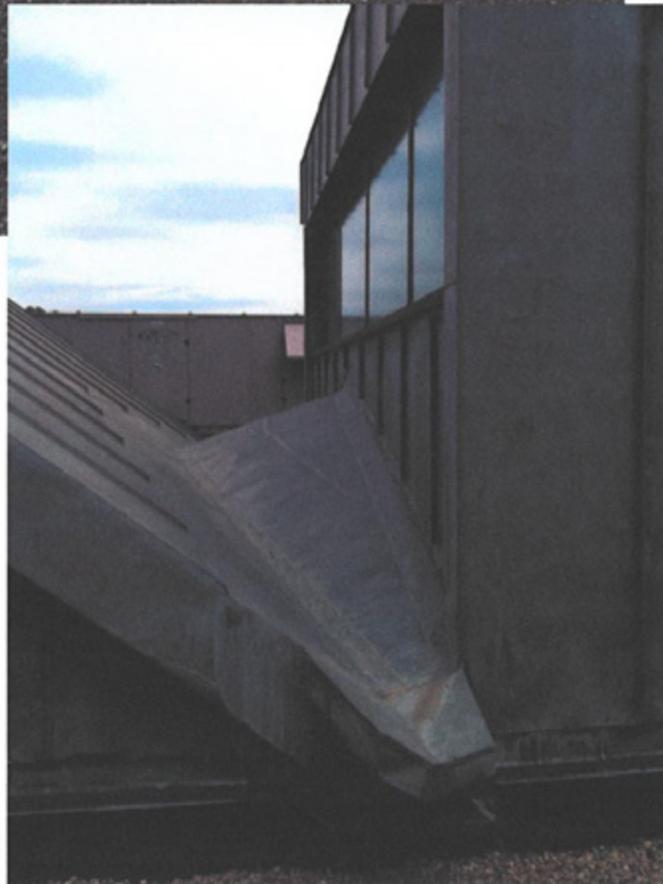


PHOTO #3 – The central portion of the roof features three large copper clad roof monitors that are surrounded by HVAC equipment (Above). The Roof monitors are standing seam copper with welded joints and appear to be in very good shape (**PHOTO #4** - Right).



Town of Framingham Roof Survey
Main Library – 49 Lexington Street

PHOTO #5 – The East side of the Main roof features a welded stepped copper cap at projected windows (Right & PHOTO #6 – Below). Note that screws have all rusted. Perimeter stripping is showing signs of wear and could be re-coated with roof mastic to extend service life.



Town of Framingham Roof Survey
Main Library – 49 Lexington Street



PHOTO #7 – The South side of the Main Roof is made up of cascading standing seam copper roofs with built-in gutters (Above). Note that lower gutter is blocked and is full of water.

Town of Framingham Roof Survey
Main Library - 49 Lexington Street



PHOTO #8 -- Copper perimeter fascia is stripped into BUR roof with membrane flashing (Left). Note that screws have all rusted. Perimeter stripping is showing signs of wear, some reinforcing fabric is visible, and could be re-coated with roof mastic to extend service life.

PHOTO #9 -- Although flashing in general appears to be in good shape it should be reviewed closely for damage (as noted Below) and wear and be repaired / re-coated to extend service life.



**CITY OF FRAMINGHAM
CAPITAL PROJECT/EQUIPMENT REQUEST - FY2025-2034 CIP**

DEPARTMENT:

DEPARTMENT PRIORITY:

(1) **PROJECT NAME:**
PROJECT STATUS:

<p>(2) PROJECT DESCRIPTION AND JUSTIFICATION:</p> <p>This project involves the procurement of alternative energy and resiliency systems across municipal facilities and school buildings. More specifically, this funding will support a technical consultant that will help the City to develop a portfolio of municipal facilities for renewable energy and battery storage integration and develop a solicitation to receive and evaluate competitive proposals from clean energy system developers. The project directly continues the City's efforts to advance local renewable energy projects at municipal facilities, helping to reduce the City's carbon footprint, reduce energy costs, and improve local resiliency.</p> <p>The requested funding will support the acquisition of technical assistance to develop a plan for clean energy assets, incorporating the evaluation of various financial and ownership models as well as providing a pathway for the City to maximize elective pay through the Inflation Reduction Act as well as other grant and incentive opportunities.</p> <p>PROJECT ADDITIONS/CHANGES JUSTIFICATION:</p> <p>The requested funding will support the acquisition of technical assistance that will help the City to maximize elective pay through the Inflation Reduction Act as well as other grant and incentive opportunities.</p>	<p>(3) PURPOSE OF PROJECT:</p> <table border="0" style="width: 100%;"> <tr><td><input type="checkbox"/></td><td>Replace existing infrastructure</td></tr> <tr><td><input type="checkbox"/></td><td>Replace existing capital asset</td></tr> <tr><td><input type="checkbox"/></td><td>Replace existing vehicle</td></tr> <tr><td><input type="checkbox"/></td><td>Replace equipment</td></tr> <tr><td><input type="checkbox"/></td><td>New infrastructure</td></tr> <tr><td><input type="checkbox"/></td><td>New capital asset</td></tr> <tr><td><input type="checkbox"/></td><td>New vehicle</td></tr> <tr><td><input type="checkbox"/></td><td>New equipment</td></tr> <tr><td><input checked="" type="checkbox"/></td><td>Strategic/Comprehensive/Master plan</td></tr> </table>	<input type="checkbox"/>	Replace existing infrastructure	<input type="checkbox"/>	Replace existing capital asset	<input type="checkbox"/>	Replace existing vehicle	<input type="checkbox"/>	Replace equipment	<input type="checkbox"/>	New infrastructure	<input type="checkbox"/>	New capital asset	<input type="checkbox"/>	New vehicle	<input type="checkbox"/>	New equipment	<input checked="" type="checkbox"/>	Strategic/Comprehensive/Master plan
<input type="checkbox"/>	Replace existing infrastructure																		
<input type="checkbox"/>	Replace existing capital asset																		
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<input type="checkbox"/>	Replace equipment																		
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<input type="checkbox"/>	New capital asset																		
<input type="checkbox"/>	New vehicle																		
<input type="checkbox"/>	New equipment																		
<input checked="" type="checkbox"/>	Strategic/Comprehensive/Master plan																		

(4) **BUDGET REQUEST BY YEAR:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY 30-34
a. Land Acquisition	75,000					
b. Planning / Feasibility						
c. Design						
d. Construction						
e. Equipment/Vehicles						
f. Contingency						
g. Other						
TOTAL	75,000	-	-	-	-	-

(5) **PRIORITY:**

a. <input type="checkbox"/> health and safety	safety concern, hazardous condition, agency compliance, non-functional, etc
b. <input checked="" type="checkbox"/> level service maintenance	maintains City desired level of service
c. <input checked="" type="checkbox"/> economic development	adds to the City's economic vibrancy
d. <input checked="" type="checkbox"/> service improvement	new or improved service to meet demand

(6) **EFFECTS ON ANNUAL OPERATING BUDGET:**

	FY 25	FY 26	FY 27	FY 28	FY 29	FY30	YEARS 30-34
Personnel							
Operating							

(7) **PROPOSED FUNDING SOURCE(S):**

- 1)
- 2)
- 3)

(10) **PROJECT OR EQUIPMENT LOCATION:**

(11) **ASSET TYPE:**

(7a) POTENTIAL GRANT FUNDING SOURCE IF APPLICABLE: (List source and matching requirements)
Massachusetts Clean Energy Center (MassCEC) - In Negotiation, No Match
(8) PROJECT LEAD NAME & CONTACT INFO: (ADDITIONAL PROJECT INFO AS NEEDED)
Shawn Luz, sluz@framinghamma.gov, x4652
(9) FINANCE DEPARTMENT NOTES: